



Request for Bids – Evansville EMS Garage

City of Evansville, WI

General Information:

The City of Evansville is requesting bids for the remodel and renovation of its shared EMS and Police Garage, located at 22 W Church Street.

Proposal Requirements:

Work will occur in three phases and include moving a garage door, renovating and demoing bathroom space, and replacing siding and roofing as part of an insurance claim. The City requests bids are split into three parts, as outlined below, and may select a different contractor for each portion of the project:

Phase 1:

- CENTER DOOR- REMOVE EXISTING DOOR AND REPLACE WITH A 12X12 DOOR, REMOVE AND REPLACE FRAMING AND HEADER SYSTEM TO ACCOMMODATE A 12X12 DOOR, THIS INCLUDES A NEW OPENER AND REMOVAL OF SIDING AND ANY DRYWALL/ ELECTRICAL WORK AS NEEDED.

Phase 2:

- ALL LABOR AND MATERIALS INCLUDED- MOVE EXISTING LAUNDRY/BATHROOM TO 3RD BAY STALL PER PRINT, THIS INCLUDES ALL HVAC RERUNS, ALL PLUMBING, ALL ELECTRICAL WORK. TILE FLOOR AND SHOWER, DRYWALL/PLASTER AND INTERIOR TRIM FINISHES, ALL DEMO AND HAUL AWAY OF OLD MATERIAL.

Phase 3 (this phase may be delayed, or assigned to a different contractor per insurance company requirements and payout):

- ALL LABOR AND MATERIALS INCLUDED TO REMOVE EXISTING HAIL DAMAGED SIDING, ROOFING, FLASHINGS, TRIM, ETC, AND IF APPLICABLE, ELECTRICAL FIXTURES. PAINT TRIM AND DOORS (EXCLUDING GARAGE DOORS), REPLACE

ROOFING WITH ASPHALT SHINGLES, AND SIDING WITH WOOD OR ENGINEERED WOOD SIDING MATERIAL APPROVABLE BY THE HISTORIC PRESERVATION COMMISSION. ALL DEMO AND HAUL AWAY OF OLD MATERIAL.

Submission Details:

- Discounts: Identify any discounts or savings with a line item for combining all phases at once
- Bids will be received in person, via mail, or email by Carolyn Kleisch, EMS Chief, City of Evansville, 31 S Madison Street, PO Box 529, Evansville, WI (c.kleisch@evansvillewi.gov) until 11 AM on July 1, 2025 at which time they will be opened and publicly read aloud.
- Envelopes shall be marked "2025 EMS GARAGE RENOVATION." NO FAX submittals will be accepted.

Additional Information: A site visit is highly recommended. Call or email Carolyn for appointments before June 30, 2025. Bidding documents are available beginning June 16, 2025 at https://evansvillewi.gov/city_government/public_notices/

Anyone with questions about the project may contact Carolyn Kleisch at 608-295-9048 or c.kleisch@evansvillewi.gov

Disclaimer:

As noted, phase 3 may involve an insurance claim. Under the insurance policy, the insurance company may have directives as to choice of contractors.

The City reserves the right to reject any or all submissions, waive any informality and accept the submission which serves the best interest of the City.

PROJECT NARRATIVE

THE PROPOSED SITE LOCATION IS ACROSS THE AISLE FROM THE POLICE DEPT. AT 10 S. CHURCH ST., EVANSVILLE WI. NO SITE ADDRESS IS GIVEN BUT THE MAILING ADDRESS IS 31 S MADISON ST). THE PROPOSED PROJECT INCLUDES REMOVAL OF AN EXISTING 10'x12' OVERHEAD DOOR AND REPLACING WITH A 12'x12' OVERHEAD DOOR. EXISTING RESTROOM, SHOWER AND LAUNDRY IS TO BE RELOCATED TO BAY 3. ALL PLUMBING, ELECTRICAL & HVAC BY OTHERS.

GENERAL NOTES - WOOD CONSTRUCTION

- CONCRETE (WHERE APPLICABLE)
- ALL FULL CONCRETE FOUNDATION WALLS SHALL BE 8" THICK X 3'10" HIGH WITH (2) #4'S CONTINUOUS TOP AND BOTTOM OF WALL.
 - ALL FOUNDATION FOOTINGS SHALL BE A MINIMUM OF 8" THICK X 16" WIDE WITH (2) #4'S CONTINUOUS IN FOOTING. FOR BLDGS OVER 2 STORIES USE 10" X 30" W/ (3)#4'S MIN
 - PROVIDE #4'S 12" O/C VERTICALLY AT ALL JOINING CONCRETE WALLS AND AT ALL COLD JOINTS.
 - ALL FOUNDATION WALLS SHALL BE A MINIMUM OF 8" THICK X 3'10" HIGH.
 - PROVIDE 1/2" @ ANCHOR BOLTS 4'0" O/C AROUND ENTIRE PERIMETER OF FOUNDATION AND ENDS OF ALL PLATES FOR ANCHORAGE OF SILL PLATES. EMBED 12" INTO FOUNDATION WALL
 - ALL SILL PLATES TO BE TREATED AND SET ON FOUNDATION WITH SILL SEALER.
 - ALL CONCRETE TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS (MIN 5 BAG MIX) AIR ENT. 5-7
 - FOOTINGS ASSUMED TO REST ON UNDISTURBED SOIL WITH A 2400 PSI DESIGN SOIL PRESSURE (1500 PSF SAFE BEARING PRESSURE)
 - COLD AND HOT WEATHER PROTECTION SHALL BE AS PRESCRIBED BY ACI 306 AND ACI 305 RESPECTIVELY.

LUMBER

- ALL SAWN LUMBER SHALL BE DOUGLAS FIR LARCH LUMBER INSTALLED AS REQUIRED ON NAILING SCHEDULE, ON PLANS AND DETAILS, AND IN SPECIFICATIONS. GRADING SHALL BE IN ACCORDANCE WITH CURRENT NWFA STANDARD GRADING RULES AS FOLLOWS.
A. GRADE NO. 1 POST AND BEAMS
B. GRADE NO. 2 FLOOR, CEILING JOISTS AND RAFTERS (1450 PSI Fb MIN.)
C. GRADE NO. 3 SILL PLATES AND BLOCKING
D. STUDS 1 STORY USE STUD GRADE SPF - MULTI-STORY USE STUD GRADE DOUG FIR LARCH #2
E. 3/4" T & G SUBFLOORING
F. 1/2" PART. BD FLOOR UNDERLAYMENT OR 3/4" GYPCRETE
G. 1/2" OSB ROOF SHEATHING
H. 7/16" OSB WALL SHEATHING
I. GLUE LAM BEAMS (2400 PSI Fb MIN.)
NOTE! SOLID INTERIOR BEAMS VISUALLY EXPOSED TO BE "CLEAR" GRADE, FREE-OF-HEART CENTER.
J. MICRO LAM, LVL (2600 PSI Fb MIN)
- ALL EXTERIOR AND INTERIOR BEARING WALL OPENINGS SHALL HAVE 4" X 12" NO. 1 D.F. HEADERS UNLESS SHOWN OTHERWISE ON THE PLANS. IN MULTI-STORY BUILDINGS ALIGN ROOF AND FLOOR TRUSSES WITH STUDS. MAX OFF CENTER ALIGNMENT IS 1 1/2"
- PROVIDE WOOD BRIDGING AT A MAXIMUM OF 8'0" INTERVALS AND A MINIMUM OF CENTER OF ALL SPANS. BRIDGING TO BE CONTINUOUS.
- ALL WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE-TREATED WITH A WATER-BORNE PRESERVATIVE
- ROOF TRUSSES ARE TO BE DESIGNED THROUGH THE TRUSS SUPPLIER BY A QUALIFIED REGISTERED ILLINOIS ENGINEER AT NO ADDITIONAL EXPENSE TO THE OWNER. TRUSS SHOP DRAWINGS TO BE SUBMITTED TO THE BUILDING DEPT. AND THE ARCHITECT. USE (1) SIMPSON H2A + (2) TOE NAILS @ EACH BEARING END OF TRUSS
- ALL WOOD FRAMING TO MEET ALL LOCAL, STATE AND FEDERAL CODES THAT GOVERN THE WORK. INCLUDING NFPA NDS-91 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - WITH 1991 SUPPLEMENT: DESIGN VALUES FOR WOOD CONSTRUCTION
- GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR INTERPRETATIONS, CLARIFICATIONS, RECONCILIATION OF CONTRADICTIONS, OR INCOMPLETE INFORMATION OR SHALL SUBMIT DETAILS TO THE ARCHITECT BEFORE CONSTRUCTION. AFTER SAID TIME FINAL INTERPRETATIONS WILL BE MADE BY THE ARCHITECT AND FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SHEAR WALLS - WALLS TO HAVE SIMPSON HD2A CONNECTOR W/ DBL STUD @ EACH END. ANCHOR CONNECTOR TO FOUNDATION WITH HILTI 5/8" @ QUICK BOLT II. SHEAR WALL NAILING SHALL BE PER IBC TABLE 2306.4.1 / 2306.4.3
- MULTI STORY BLDGS REQ. SIMPSON CS18 STRAPS WITH 10D NAILS @ STUD TO RIM BOARD TO STUD
- STAIRS - NAIL OUTSIDE STRINGER TO STUDS W/ (3) 16D NAILS @ EACH STUD
- ROOF TRUSS TIE DOWNS TO BE SIMPSON H3 FOR UP TO 32# UPLIFT. CHECK TRUSS DRAWINGS. WHERE UPLIFT EXCEEDS 32# CHECK WITH ARCHITECT FOR ALTERNATE TIE DOWN.

NAILING SCHEDULE (ALSO SEE IBC TABLE 2304.4.1)

- | | |
|--|---|
| 1. JOIST TO SILL OR GIRDER, TOE NAIL | 3-5 d |
| 2. BRIDGING TO JOIST, TOE NAIL EA. END | 2-5 d |
| 3. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL | 2-16 d |
| 4. SOLE PLATE TO JOIST OR BOLDING, FACE NAIL | 16-d @ 16" o.c. |
| 5. TOP PLATE TO STUD, END NAIL | 2-16 d |
| 6. STUD TO SOLE PLATE | 4-5 d toe nail or 2-16 d end nail |
| 7. DOUBLE STUDS, FACE NAIL | 16-d @ 16" o.c. |
| 8. DOUBLED TOP PLATES, FACE NAIL | 16-d @ 16" o.c. |
| 9. TOP PLATES, LAP & INTERSECTIONS, FACE NAIL | 2-16 d |
| 10. CONTINUOUS HEADER 2-PIECES | 16-d @ 16" o.c. along ea. edge |
| 11. CEILING JOIST TO PLATE, TOE NAIL | 3-5 d |
| 12. CEILING JOIST LAPS OVER PARTITIONS, FACE NAIL | 3-16 d |
| 13. CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL | ceiling joist to parallel rafters, face nail 3-16 d |
| 14. RAFTER TO PLATE, TOE NAIL | rafter to plate, toenail 3-5 d |
| 15. BUILT-UP CORNER STUDS | built-up corner studs 16-d @ 24" o.c. |
| 16. PLYWOOD SUB-FLOOR | plywd sub-floor 3-d comm. @ 8" o.c. edge & 10" o.c. interior |
| 17. PLYWOOD WALL SHEATHING | plywd wall sheathing 3-d comm. @ 8" o.c. edge & 12" o.c. interior |
| 18. PLYWOOD ROOF SHEATHING | plywd roof sheathing 3-d comm. @ 8" o.c. edge & 12" o.c. interior |
| 19. 5/8" SHT RKT TO STUDS | #6 X 1 5/8" SCREWS AT 12" O/C, #6 COOLER X 1 5/8" NAILS @ 7" O/C |

TEMP. & PERM. BRACING OF METAL PLATE CONNECTED WOOD TRUSSES

TEMPORARY BRACING, HANDLING, INSTALLING AND PERM. BRACING OF METAL PLATE CONNECTED WOOD TRUSSES SHALL BE ACCORDING TO BCSI-12. A HANDBOOK PREPARED BY THE TRUSS PLATE INSTITUTE & USED WHERE EVER POSSIBLE. TEMPORARY BRACING SHALL BE LEFT IN AS PERMANENT BRACING. TEMPORARY BRACING SHALL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR. PERMANENT BRACING REQUIRED TO MAKE THE INDIVIDUAL COMPONENTS WORK AS A TOTAL ROOF SYSTEM SHALL BE DESIGNED BY THE COMPONENT ENGINEER AND INSTALLED BY THE INSTALLATION CONTRACTOR. THE TRUSS SHOP DRAWINGS SHALL INCLUDE DRAWINGS AND INSTRUCTIONS FOR WEB AND CHORD PERMANENT BRACING, DIAGONAL BRACING, KIEB MEMBER LATERAL RESTRAINT, SHEATHING THICKNESS AND BLOCKING AS REQUIRED TO MAKE THE IND. COMPONENTS WORK AS A ROOF SYSTEM AND PREVENT ROTATION, TOLLING OR FAILURE. THESE DNGS SHALL BEAR THE SEAL OF A REG. ENGINEER. THE TRUSS COMPONENT SUPPLIER IS RESPONSIBLE FOR THE TRUSS SYSTEM PERFORMANCE AND COMPLIANCE WITH GOVERNING CODE, PROVIDED CORRECT INSTALLATION BY THE INSTALLER. THIS ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF TEMPORARY OR PERMANENT BRACING, NOR THE ROOF SYSTEM PERFORMANCE. SYSTEM DESIGNER SHALL MAKE THE ARCH. AWARE OF ANY SPECIAL STRUCTURAL REQHS BELOW THE PLANE OF THE TRUSSES DUE TO THE SYSTEM DESIGN.

A COPY OF BCSI-12 CAN BE OBTAINED AT:

SBCA
6300 ENTERPRISE LANE
MADISON, WI - 53719
(608)274-4849 X 14444.SBCINDUSTRY.COM

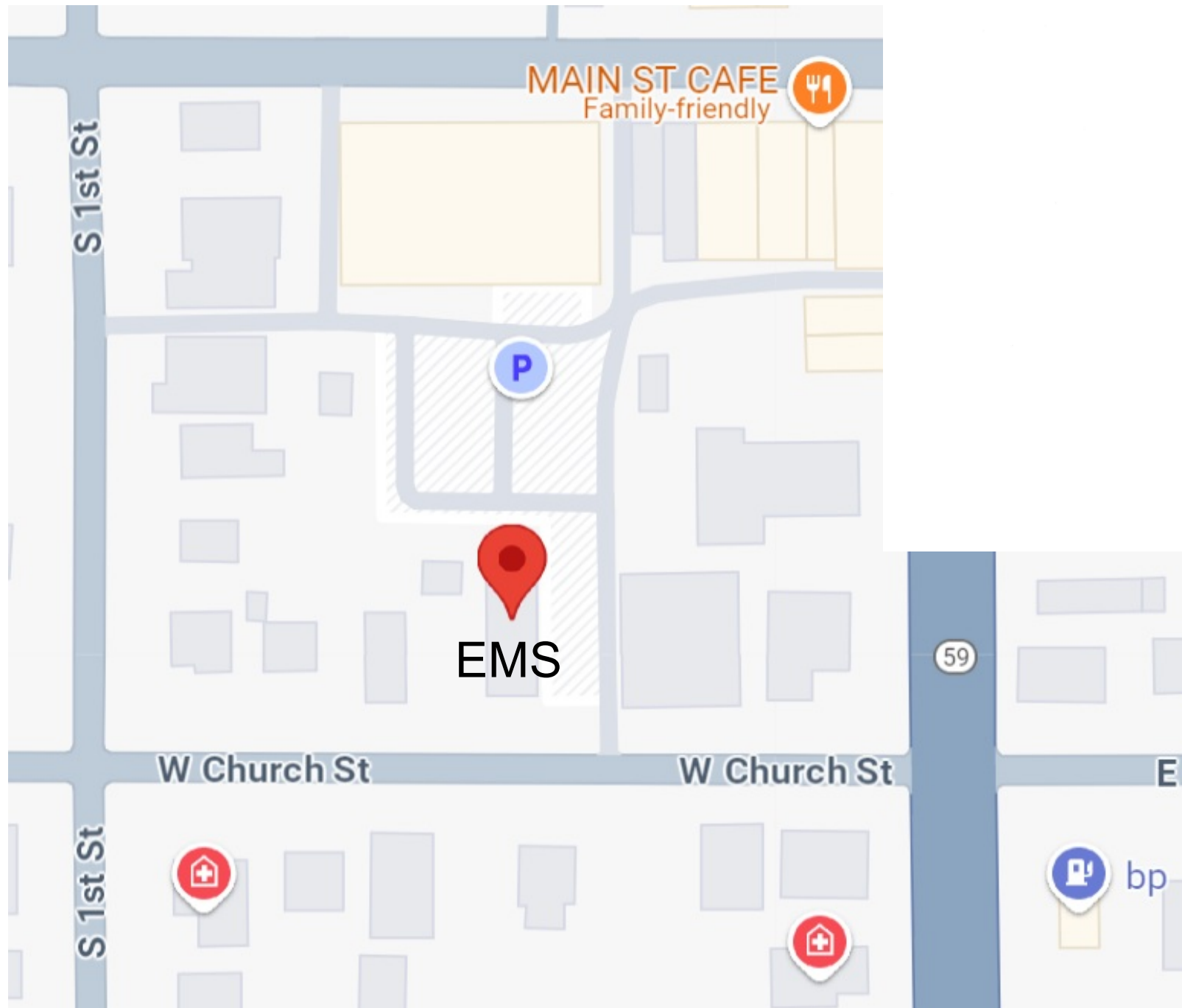
NOTE ! GREAT CARE HAS BEEN TAKEN IN PREPARING THESE PLANS. HOWEVER, AS THE LAST LAYOUT PERSON BEFORE CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND COORDINATION OF HVAC, ELECTRICAL AND PLUMBING.

EMS BUILDING ALTERATION

10 W CHURCH ST., EVANSVILLE , WI. 53536



AERIAL VIEW



MAP VIEW



RENDERING

FOR ILLUSTRATION ONLY

Layout Page Table			
Label	Title	Description	Comments
A1	TITLE SHEET AND SITE PLAN		1/4"=1'-0"
A2	OVERALL FLOOR PLAN		3/8" = 1'0"
A3	INTERIOR ELEVATIONS		
A4	ADA REQUIREMENTS		
A5	DETAILS		1/4"=1'-0"

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2015 IBC OR UDC SEC.320 AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IEC AND 2006 IMC SHALL BE USED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

DESIGN CRITERIA: 2015 IBC OR SPS 320-325 (RESIDENTIAL)

ROOF: 30 PSF SNOW LOAD

*8 PSF TOP CHORD DL

*7 PSF BOTTOM CHORD DL

*5 PSF NET WIND UPLIFT.

FLOOR: 40 PSF LL

*10 PSF TOP CHORD DL

*5 PSF BOTTOM CHORD DL

SOIL: *2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION

FROST DEPTH: 4'-0"

SEISMIC ZONE: C

WIND: 115 MPH (90 MPH 3 SEC GUST), EXPOSURE B.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

BUILDING OWNER: Evansville EMS
PROJECT ADDRESS: 31 S Madison St
Evansville, Wi., 53536
BUILDING AREA: 3128 SQ. FT.

COMPLIANCE STATEMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

David L. Jenkins
(SIGNATURE)
DAVID L. JENKINS ARCHITECT

DATE: NOV. 10, 2020

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
2020 GLENVIEW RD. ROCKFORD, ILLINOIS
PHONE (815) 397-9771 FAX (815) 397-9795

FILE NAME: 05020T1
CONTRACTOR: -
PROJECT NO.: 050-20
DATE: 11-9-24
PROJECT NAME: EVANSVILLE EMS ALTERATION
10 W CHURCH ST.
EVANSVILLE, WISCONSIN, 53536
REVISED: XXX/XX/XX

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS

KRAI
ARCHITECTURAL SERVICES LLC
13439 West Travis Trace, Evansville, WI 53536
608-931-6958 PH * jimbohego@gmail.com

PAGE TITLE:
TITLE SHEET AND SITE PLAN

LICENSE NUMBER:

1234567890

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JMH

DATE:

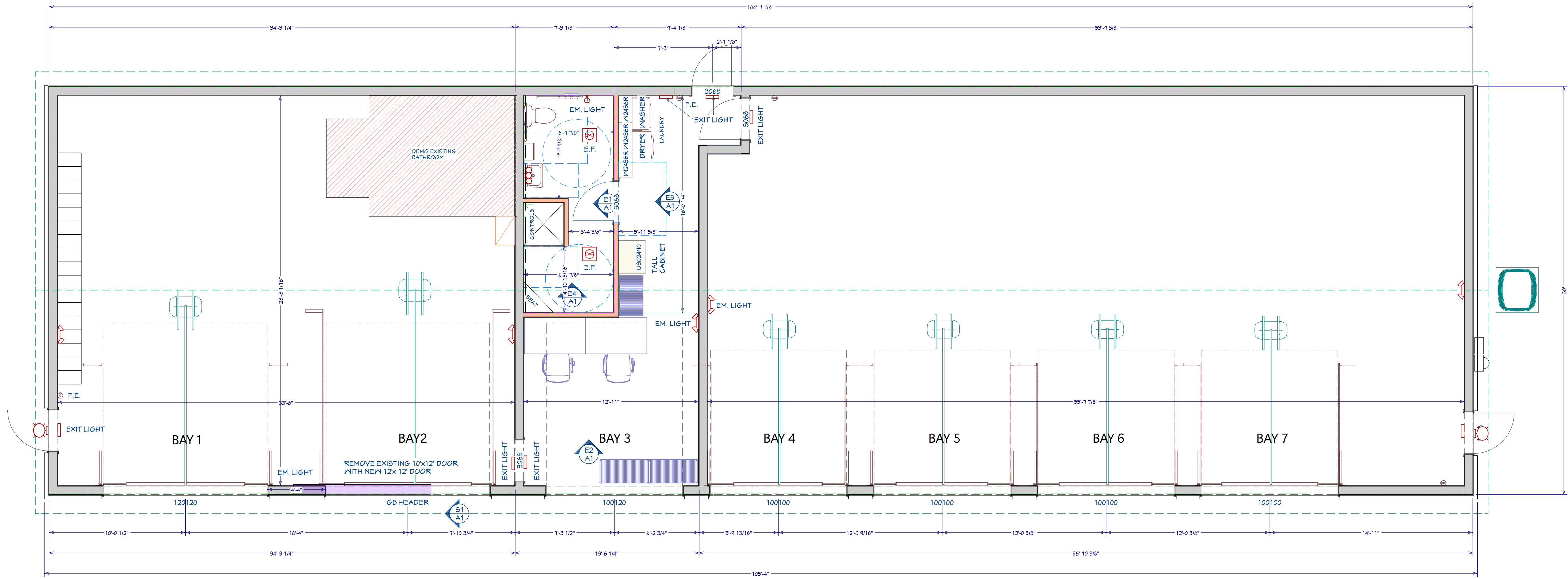
11/10/2024

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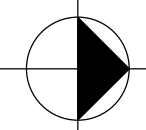
A1

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TOTAL AREA
3128 SQ. FT.
FLOOR PLAN

1/4"=1'-0"



8" EXISTING STUD WALLS

8" EXISTING STUD & BRICK VENEER

4" STUD NEW WALLS

WALL TYPES

SYMBOL KEY

		OUTSIDE LIGHT WALL MOUNTED
		EXIT LIGHT
		EXIT LIGHT DIRECTIONAL
		DUEL HEAD EM. LIGHT
		SINGLE HEAD EM. LIGHT
		BATH EXH. FAN
		FIRE EXTINGUISHER

COMPLIANCE STATEMENT

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PHONE (815) 397-9771 FAX (815) 397-9795

FILE NAME:
05020T1

DATE:
11-9-24

REVISIONS:
XX/XX/XX

CONTRACTOR:
-

PROJECT NAME:

EVANSVILLE EMS ALTERATION
10 W CHURCH ST.
EVANSVILLE, WISCONSIN, 53536

PROJECT NO.:
050-20

PAGE TITLE:

OVERALL FLOOR PLAN

LICENSE NUMBER:

1234567890

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JMH

DATE:

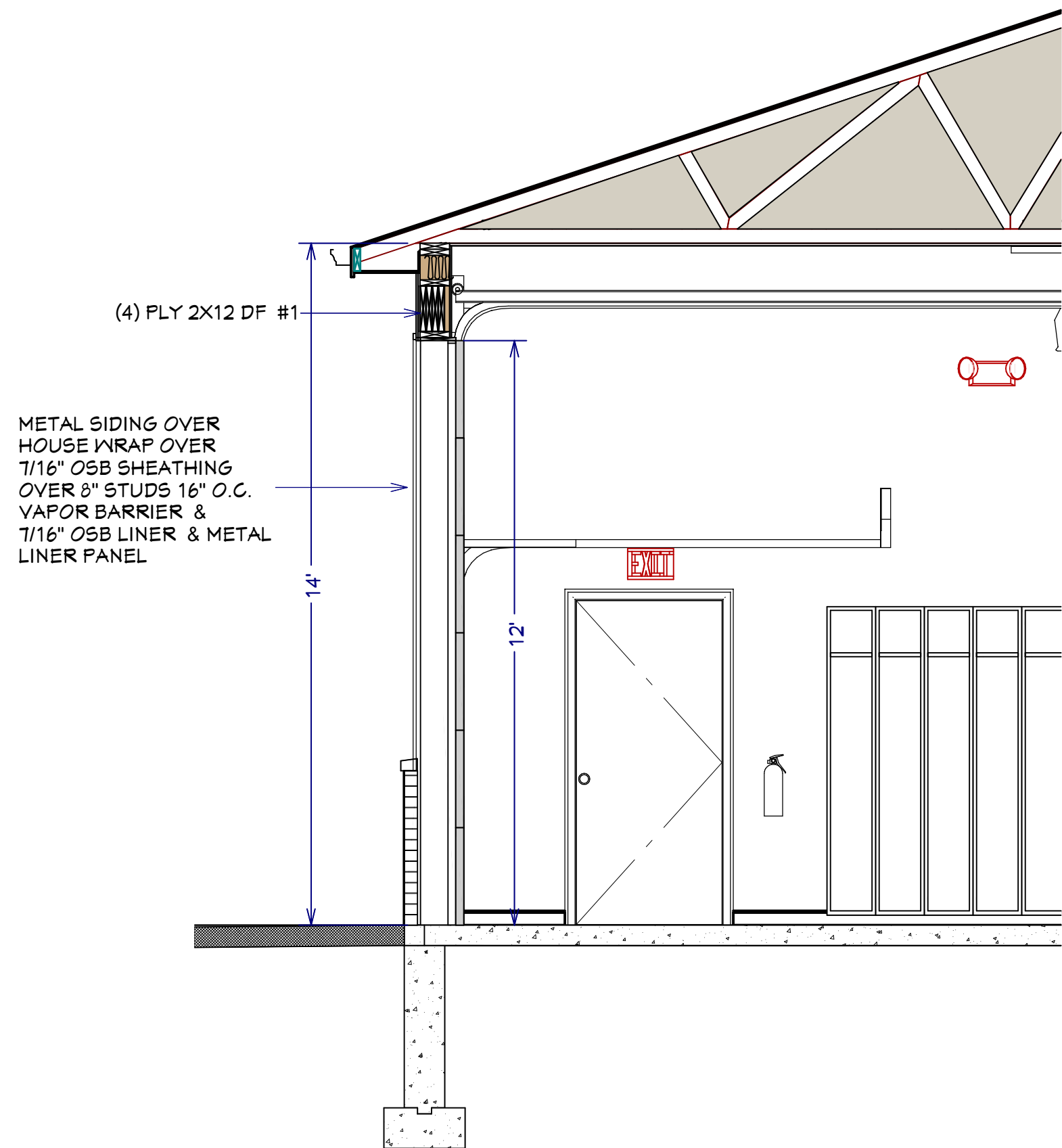
11/10/2024

SCALE:

1/4"=1'-0"

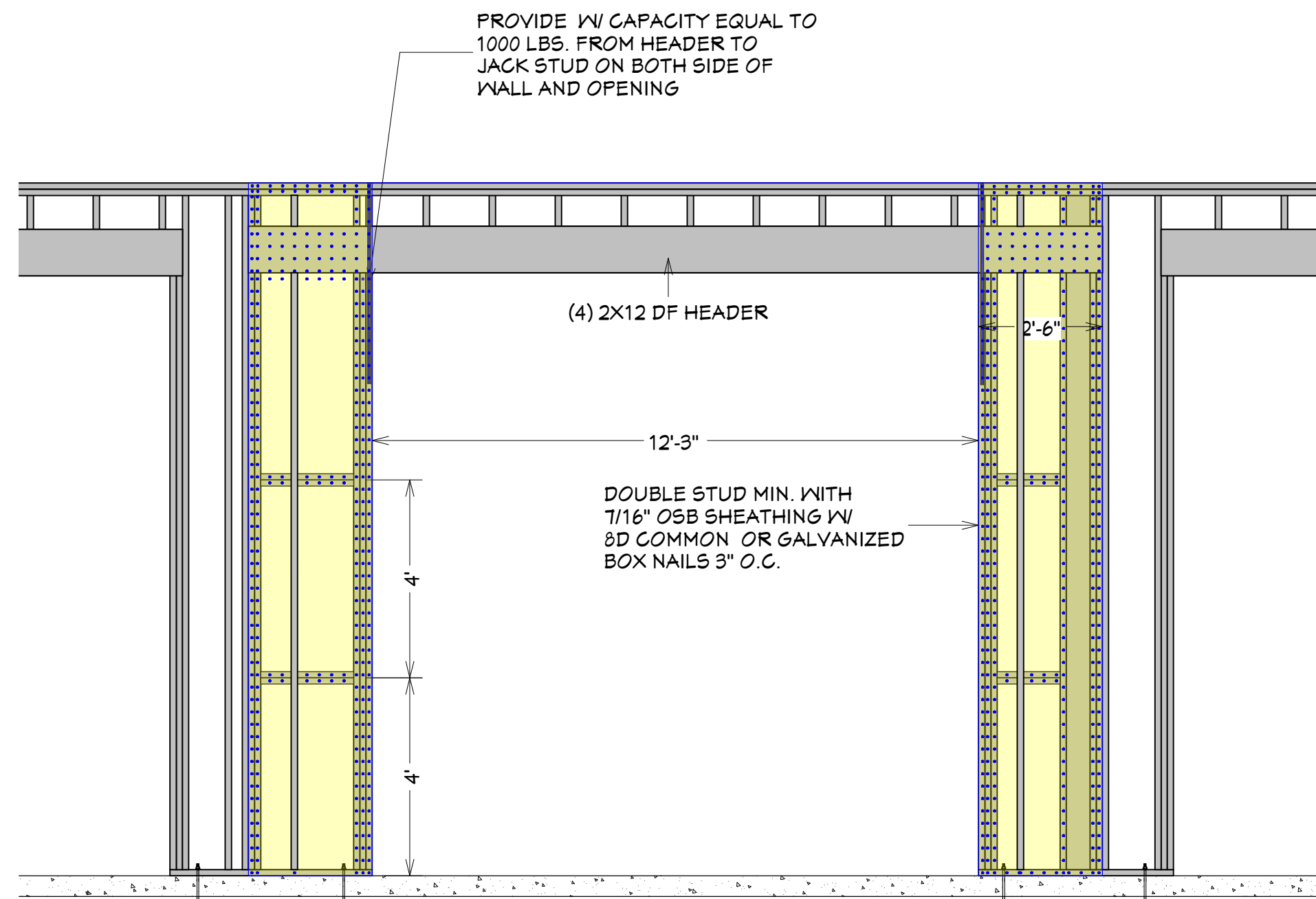
SHEET #:

A2



SECTION 1

3/8"=1'-0"



DOOR FRAMING

3/8"=1'-0"

ALL RIGHTS RESERVED. DUPLICATION AND DISTRIBUTION OF THIS PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED

ABBREVIATIONS			ABBREVIATIONS		
&	ANGLE	JAN	JANITOR		
@	AT	JOINT			
Q	CENTERLINE	KIT	KITCHEN		
%	PERPENDICULAR	LAB	LABORATORY		
1	CHANNEL	LAM	LAMINATE		
#	FOUND OR NUMBER	LAV	LAVATORY		
E	EXISTING	LOCKER			
		LKR	LIGHT		
		LX			
ACOUS	ACOUSTICAL TILE	MAX	MAXIMUM		
A.D.	AREA DRAIN	M.C.	MEDICINE CABINET		
ADJ.	ADJUSTABLE	M.E.	MECHANICAL		
A.F.F.	ABOVE FINISH FLOOR	M.E.M.	MEMBRANE		
AGGR	AGGREGATE	MET	METAL		
AL	ALUMINUM	MFR	MANUFACTURER		
APPROX	APPROXIMATE	MNL	MANHOLE		
ARCH	ARCHITECTURAL	MNM	MINIMUM		
ASB	ASBESTOS	MIR	MIRROR		
ASPH	ASPHALT	MISC.	MISCELLANEOUS		
		M.O.	MASONRY OPENING		
BD	BOARD	MOUNT	MOUNTED		
BTUM	BITUMINOUS	MUL	MULLION		
BLD	BLOCK				
BLK	BLOCKING				
BLS	BLOCK				
BM	BEAM				
BTM	BOTTOM				
DOT	BACK TO BACK				
B.T.B.					
CAB	CABINET				
C.B.	CATCH BASIN				
C.C.	CEMENT				
CER	CERAMIC				
CAST	CAST IRON				
CEILING					
C.G.	CLOSING				
CLO	CLOSET				
CLR	CLEAR				
CLM	COLUMN				
CLN	CONCRETE				
CONC	CONSTRUCTION				
CONSTR	CONTINUOUS				
CONT	CONCRETE				
CORR	CORRIDOR				
CORR	COUNTERSINK				
CTR	COUNTER				
CTR	CENTER				
DBL	DOUBLE				
DEPT	DEPARTMENT				
DET	DETAIL				
DIA	DIAMETER				
DISP	DISPENSER				
DN	DOWN				
DOOR	DOOR				
DR	DOOR				
DWR	DOWNSPUT				
DS	DOWNSPUT				
D.S.P.	DRAWINGS				
EXIST	EXISTING				
E	EACH				
E.J.	EXPANSION JOINT				
ELEV	ELEVATION				
ELEV	ELEVATOR				
EMER	EMERGENCY				
ENCL	ENCLOSURE				
E.F.	ELECTRICAL PANEL				
E.F.	EQUAL				
E.F.T.	EQUIPMENT				
E.F.T.	ELECTRIC FANS COOLER				
E.F.T.	EXISTING				
EXIST	EXISTING				
EXP	EXPANSION				
EXT	EXTERIOR				
F.A.	FIRE ALARM				
F.B.	FLAT BAR				
F.D.	FLOOR DRAIN				
F.D.	FOUNDATION				
F.D.	FIRE EXTINGUISHER				
F.D.	FIRE EXTINGUISHER CAB				
F.D.	FIRE HOSE CABINET				
F.D.	FLOOR				
F.D.	FLASHING				
F.D.	FLUORESCENT				
F.D.	FACE OF CONCRETE				
F.D.	FACE OF FINISH				
F.D.	FACE OF STUDS				
F.D.	FIREPROOF				
F.D.	FOOT OR FEET				
F.D.	FOOTING				
F.D.	FURNISH AND INSTALL				
F.D.	FUTURE				
G.A.	GAUGE				
G.A.	GALVANIZED				
G.B.	GENERAL CONTRACTOR				
G.C.	GLASSGLAZING				
G.L.	GRADE				
GND	GYPSEUM				
GR	GYPSEUM				
GYP	GYPSEUM				
H.B.	HOLLOW CAB				
H.C.	HARDWOOD				
H.C.	HARDWARE				
H.C.	HOLLOW METAL				
H.C.	HORIZONTAL				
H.C.	HOUR				
H.C.	HEIGHT				
H.C.	INSIDE DIAMETER (DIM.)				
H.C.	INSULATION				
H.C.	INTERIOR				

ENVIRONMENTAL BARRIERS ACT NOTES ALL TRADES - PLEASE READ

THIS BUILDING, IN ORDER TO MEET THE REQUIREMENTS OF THE ENVIRONMENTAL BARRIERS ACT, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE STATE OF ILLINOIS ACCESSIBILITY STANDARDS INCORPORATING BUT NOT LIMITED TO THE FOLLOWING WHETHER SHOWN ON THE REST OF THE PLANS OR NOT.

PARKING:
THERE SHALL BE AT LEAST ONE DESIGNATED AND MARKED ACCESSIBLE STALL, 16'0" WIDE LOCATED AS CLOSE AS POSSIBLE TO THE SHORTEST ACCESSIBLE PATH OF TRAVEL TO THE BUILDING. PROVIDE SYMBOL OF ACCESSIBILITY SIGN WITH FINE KERNING IN UNOBSERVED LOCATION.

WALKS & RAMPS:
SIDEWALKS TO ENTRY DOORS TO BE A MINIMUM OF 5'0" WIDE AND FREE OF CURBS. CURB RAMPS TO HAVE SLOPES LESS THAN 1 IN 12. SURFACE TO HAVE A DETECTABLE WARNING TEXTURE. THE WALK MUST BE LEVEL AT THE ENTRY DOOR FOR 4'0" AND EXTEND 1'6" PAST THE FULL SIDE OF THE DOOR.

DOORS:
ALL DOORS EXCEPT TO HAZARDOUS AREAS TO HAVE A MIN. CLEAR OPENING OF 2'0". DOORS IN SERIES SHALL BE A MINIMUM 10' APART AND OPEN IN THE SAME DIRECTION. FLOOR SHALL BE LEVEL 4'0" ON PUSH SIDE AND 5'0" ON FULL SIDE OF DOORS.
WALLS SHALL BE A MINIMUM OF 1'0" FROM JAMB ON FULL SIDE OF DOORS.
BOTTOM RAIL ON ALL DOORS 10" HIGH (MINIMUM)
ALL THRESHOLDS TO BE 1/2" HIGH OR LESS.
ALL HARDWARE SHALL BE PUSH/PULL OR LEVER ACTUATED TYPE EXCEPT DOORS TO HAZARDOUS AREAS WHICH SHALL BE KNOBLED OR HAVE AN ABRASIVE FINISH.

INTERIOR CIRCULATION:
ALL CORRIDORS TO BE 4'0" MINIMUM IN WIDTH ON REQUIRED ACCESSIBLE FLOORS.
HANDRAILS SHOULD EXTEND 1'0" PAST THE TOP AND 1'0" ONE TREAD PAST THE BOTTOM OF ALL FLIGHTS OF STAIRS. HANDRAIL HEIGHT 34" TO 38" MEASURED FROM THE NOSING VERT.
STAIRS: MAXIMUM RISER HEIGHT = 7"; MINIMUM TREAD DEPTH = 11" NOSING TO NOSING; MAXIMUM NOSING = 1 1/4" OPEN STAIRS - REQUIRE BOTH A HANDRAIL AND A GUARDRAIL @ 42" ABOVE NOSING.
PLACE TACTILE STAR ON TOP OF RAILING AT MAIN EXIT.
RAMPS THAT RISE MORE THAN 4" SHALL HAVE RAILS ON BOTH SIDES.
ELEVATOR SHALL HAVE VISUAL AND AUDIBLE SIGNALS WITH TACTILE FLOOR DESIGNATIONS.
PROVIDE A 10 S.F. AREA OF REFUGE INSIDE STAIR WALKS ON REQUIRED ACCESSIBLE FLOORS.
A LIGHTED "AREA OF REFUGE" SIGN POWERED FROM AN EMERGENCY SOURCE SHALL BE PROVIDED.
SWITCHES, OUTLETS, PHONES AND OTHER CONTROLS: MAXIMUM HEIGHT IS 48" TO TOP OF DEVICE, MINIMUM HEIGHT ABOVE FLOOR IS 15" TO BOTTOM OF DEVICE.

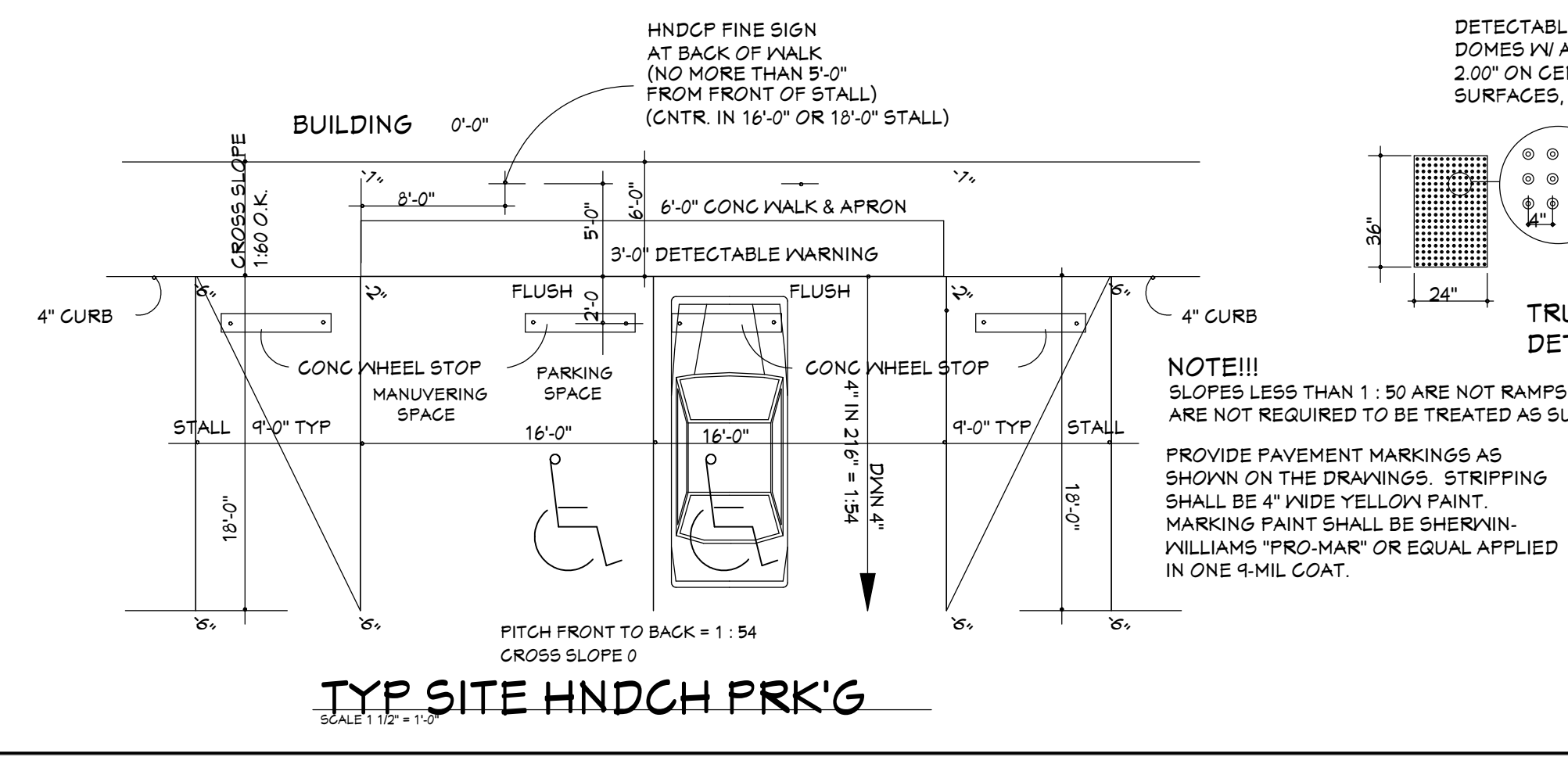
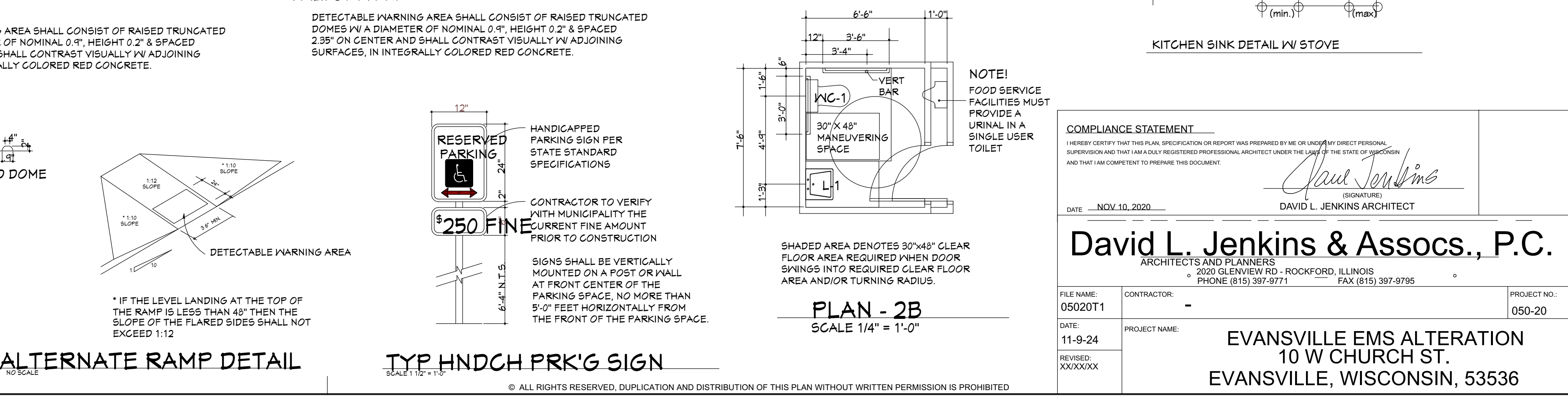
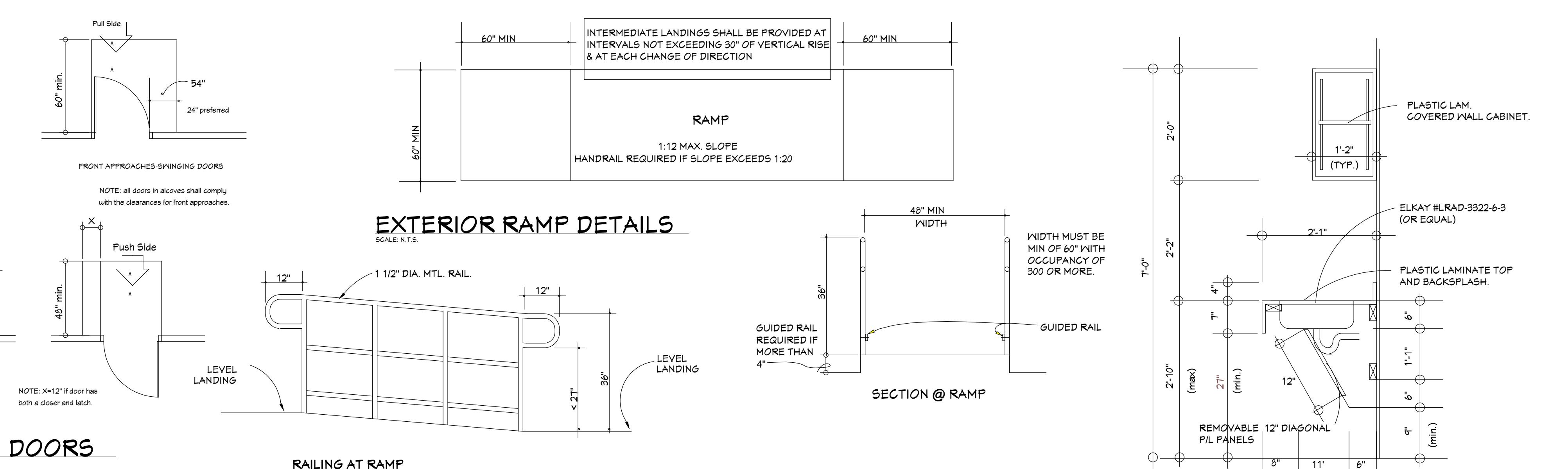
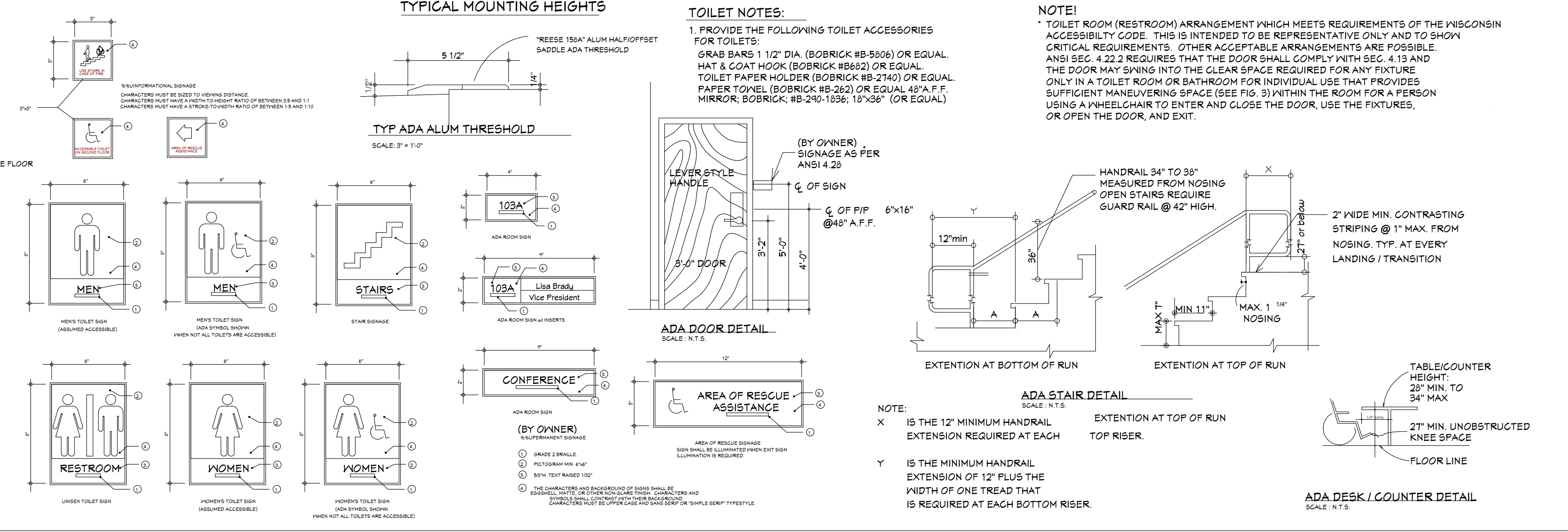
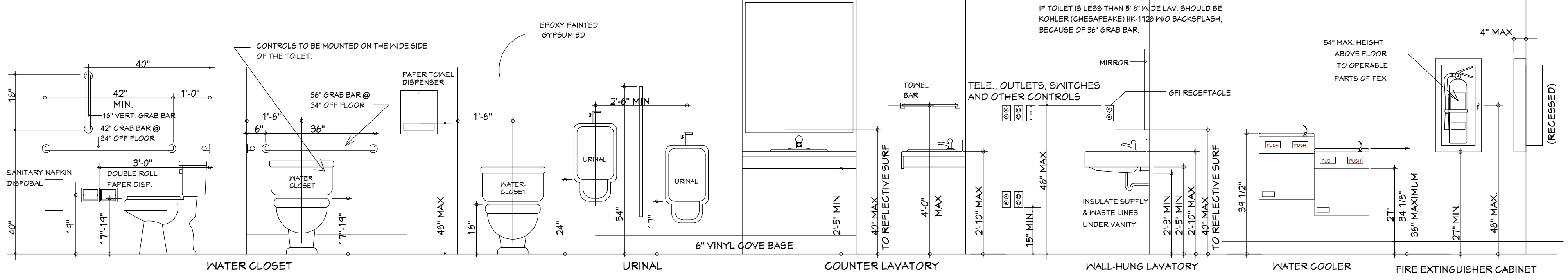
TOILET ROOMS:
PROVIDE ONE STALL 6'0" X 2'4" FOR EACH SEX WITH ONE HANDICAPPED WATER CLOSET, GRAB BARS, AND A 32" CLEAR OPENING OUT. SWINGING DOOR.
PROVIDE 2'0" CLEARANCE UNDER LAVS WITH WATER SUPPLY INSULATED, MAX HT OF LAV TOP IS 21"0".
PROVIDE ONE LAVATORY FOR EACH SEX (WHEN OVER 5 EMPLOYEES ARE PRESENT). FAUCETS TO BE PUSH BUTTON OR INFRARED ON, WITH AUTOMATIC SHUT OFF.
PROVIDE ONE HANDICAPPED URINAL IN MEN'S RESTROOM WHEN A URINAL IS SHOWN (REQUIRED IN FOOD SERVICE).
PROVIDE ONE MIRROR WITH BOTTOM OF REFLECTIVE EDGE A MAXIMUM 34" ABOVE FLOOR.

DRINKING FOUNTAIN:
IF A DRINKING FOUNTAIN IS PROVIDED IT SHALL MEET THE REQUIREMENTS FOR THE HANDICAPPED.
SPOUT HEIGHT SHALL BE MAX. 36" ABOVE FLOOR, KNEE CLEARANCE 27" MIN. A HIGH-LOW FOUNTAIN SHALL BE PROVIDED TO ACCOMMODATE BOTH WHEELCHAIR AND ARTHRAITIC FOUNTAIN USERS.

SIGNAGE:
PROVIDE TACTILE SIGNS FOR CORRIDORS, RESTROOMS, AND EXIT DOORS. MOUNT SIGNS 60" ABOVE FLOOR AND BESIDE THE DOOR, NOT ON THE DOOR.
WARNING SIGNALS:
BOTH VISUAL AND AUDIBLE SIGNALS AND ALARMS SHALL BE PROVIDED WHEN ALARMS ARE REQUIRED.

ALL CONTRACTORS AND SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR ACQUAINTING HIMSELF WITH ANSI A117.1, THE STATE OF ILLINOIS DEVELOPMENT BOARD ACCESSIBILITY CODE AND THE FEDERAL AMERICANS WITH DISABILITIES ACT, AND SHALL BE RESPONSIBLE FOR COMPLYING WITH THESE STANDARDS AS THEY APPLY TO THE WORK UNDER CONTRACT.
ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR RECONCILIATION OF CONTRADICTIONS OR INCOMPLETE INFORMATION PERTAINING TO THE ABOVE REFERENCED STANDARDS. ALL ITEMS CALLED FOR ABOVE SHALL BE PROVIDED. EVEN IF THIS IS THE ONLY PLACE THEY ARE SPEC'ED.

ALL THESE DETAILS ARE NOT NECESSARILLY GERMAINE TO THIS PROJECT



3D VIEWS ARE NOT TO SCALE AND MAY NOT REPRESENT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS

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JMH

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11/10/2024

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COMPLIANCE STATEMENT
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF ILLINOIS AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

DATE: **NOV 10, 2020**

David L. Jenkins
DAVID L. JENKINS ARCHITECT

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FILE NAME: **05020T1**
DATE: **11-9-24**
REVISION: **XX/XX/XX**

CONTRACTOR: **-**
PROJECT NAME: **EVANSVILLE EMS ALTERATION
10 W CHURCH ST.
EVANSVILLE, WISCONSIN, 53536**

PROJECT NO.: **050-20**